
CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

For convenience sake, defined terms from the Declaration of Covenants, Conditions, Restrictions, Reservations and Easements for Cortessa (the “Declaration”) are used herein. Unless otherwise defined in these Design Review Guidelines, all words with the first letter of each word in the term capitalized shall have the meanings given to them in Appendix A to the Declaration (or as may be otherwise expressly provided herein).

ANTENNAS

Antennas one meter or less in diameter or diagonal measurement, together with their associated mounting hardware and mast, if applicable (an “Antenna System”), must comply with the following restrictions if they are to be placed, installed or kept on a Lot outside of a Dwelling Unit, unless compliance would impair the installation, maintenance or use of an Antenna System used to (i) receive direct broadcast satellite service or receive or transmit fixed wireless service via satellite; (ii) receive video programming services via multipoint distribution or receive or transmit fixed wireless signals other than via satellite; or (iii) receive television broadcast signals:

(a) An Antenna System must be placed on a Lot in such a manner so as not to be Visible From Neighboring Property.

(b) If an Antenna System, cannot be placed on a Lot in such a manner as to not be visible from any other Lot, the Common Area or streets without unreasonably delaying or preventing the Lot Owner’s installation, maintenance or use of the Antenna System, the Antenna System must be screened by landscaping or by some other means so that it is not visible from any other Lot, the Common Area, or streets, unless the landscaping or screening would impair the installation, maintenance or use of the Antenna System, in which case the Antenna System must be screened to the greatest extent possible without impairing the installation, maintenance or use of the Antenna System.

(c) If no other location is available without impairing the installation, maintenance or use of an Antenna System and the Antenna System must be mounted on a residence or other structure in a manner that will be visible from other Lots, the Common Area or streets, the Antenna System must be painted a color that will blend into the background against which the Antenna System is mounted unless the painting would impair reception.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

(d) For purposes of these restrictions, the installation, maintenance and use of an Antenna System shall be deemed to be “impaired” only if the restriction causes one of the following to occur:

- (i) the restriction unreasonably delays or prevents installation, maintenance or use of the Antenna System;
- (ii) the restriction unreasonably increases the cost of installation, maintenance or use of the Antenna System; or
- (iii) the restriction precludes reception or transmission of an acceptable quality signal.

No dish that exceeds one meter in diameter or diagonal measurement may be placed, installed, constructed or kept on any Lot without the prior written approval of the Design Review Committee (the “Committee”).

AWNINGS

Awnings are prohibited except temporary awnings utilized at the model complexes during sales/marketing activities

APPROVALS

Pursuant to the Declaration, Builders desiring to construct improvements within Cortessa must have the proposed improvements approved by the Committee or its designee prior to submittal to Maricopa County (if required) and the commencement of construction. The submittal must include, as applicable, the following for the R1-6 RUPD, R1-8 RUPD and RURAL-43 subdivisions:

- Floor plans for each proposed improvement. Five different floor plans must be offered with each product series.
- Elevations of the Dwelling Unit or proposed addition or alteration. Three different elevations must be offered with each floor plan. No two front elevations that are identical are permitted to be built adjacent to or opposite from one another. This will ensure visual relief and varying aesthetic streetscapes throughout the project.
- Exterior paint color samples. Five different exterior base

CORTESSA COMMUNITY ASSOCIATION

DESIGN REVIEW GUIDELINES

colors must be offered with each floor plan. Five different trim colors must be offered with each floor plan.

- Sample roof tiles with list of manufacturer, style, model number and/or color. A minimum of two different tile roof styles with three different complementary colors must be used.
- Landscape plans, plant lists and a minimum of three (3) different decomposed granite colors and sizes.

No changes from the submittal once approved by the Committee shall be made without prior written approval of the Committee.

ARCHITECTURAL STYLE

All Dwelling Units will be constructed in a southwestern style as approved by the Committee.

BASKETBALL GOALS

Basketball goals are permitted in front yards adjacent to driveways only upon prior written approval from the Committee and if they are pole mounted and permanently installed. Pole mounting fixtures are required to match the exterior house colors. **Basketball goals may not be attached directly to any Dwelling Unit.**

- Backboards must be clear Plexiglas or match the color of the body of the exterior of the Dwelling Unit, or as otherwise approved by the Committee.
- All equipment must be reasonably maintained. Broken backboards, disfigured or bent rims, ripped or torn nets, chipped and/or peeling paint, etc., are expressly prohibited.
- Only nylon or similar cord nets are acceptable. Metal or chain nets are expressly prohibited.
- Courts may not be painted or permanently outlined on the driveway or other concrete surfaces Visible From Neighboring Properties.
- Lighting for night use of the equipment is prohibited.
- Portable basketball goals are expressly prohibited, except in rear yards at the Committee's discretion.
- Permanent basketball goals located in the rear yard must comply with all above applicable guidelines.

BUILDING HEIGHTS

Building heights are limited to two-story structures with a maximum height of 30' above the finished floor.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

COLORS/TONES

Exterior colors of all buildings and structures will be southwestern desert hues and must be approved by the Committee. Southwestern accent trim colors are permitted. Bright colors will not be permitted. Any change of exterior color, body or trim, must have prior approval of the Committee.

CONSTRUCTION PERIOD

Once started, construction shall be pursued diligently in order to assure prompt completion thereof. Absent a different deadline for completion of construction (which may be shorter or longer, at the discretion of the Committee), such construction shall be completed (a) within twelve months from the date of commencement of construction, if such construction relates to the construction of the initial Dwelling Unit on a Lot or (b) within six months from the date of commencement of construction, for all construction other than construction relating to the construction of the initial Dwelling Unit on a Lot.

DISCLAIMER FOR LIABILITY

The Committee shall have no liability in connection with or related to approved or disapproved plans, specifications, or improvements. The approval of plans does not mean that judgment is passed on the structural soundness of the improvement nor its effect upon existing or future drainage. The review of the plans is for aesthetic purposes only.

DRIVEWAYS

Driveway extensions will be reviewed on an individual basis with strong consideration of any impact on the architectural features of the neighborhood. The maximum approved driveway extension is 18” on each side of the driveway. In no case may driveway extension ends be placed closer than 1’ to a property line. Painted paved surfaces are prohibited.

EXTERIOR HOUSE MATERIALS

Finished building materials must be applied to all exterior sides of buildings and structures (final paint or stucco finish). Acceptable materials include stucco, masonry and brick (approved by the Committee).

FENCING AND WALLS

Rear yard fencing is required on all lots and shall be maximum height of 6' as measured from the highest adjacent lot or a maximum of 7' as measured from the highest adjacent lot if adjacent to an arterial street, unless otherwise approved by the Committee. Fencing located between dwelling units and facing the street (commonly known as fence returns) shall be block painted, stained or integral colored (ICI 415 “Brown Tone”) so as to be consistent throughout the subdivision. All fencing between

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

dwelling units, not facing or adjacent to public right-of-way or open space can be painted cinder block or integral color cinder block. *Fencing not permitted:*

- Chain Link
- Wood Slat
- Wood Picket
- Free Standing on Property Line

Wood slats are permitted as part of a metal frame gate within a masonry block fence.

Garden walls are permitted to a maximum height of 48" and must match the architectural finish, texture, and style of the house, or be specifically approved otherwise as submitted to the Committee.

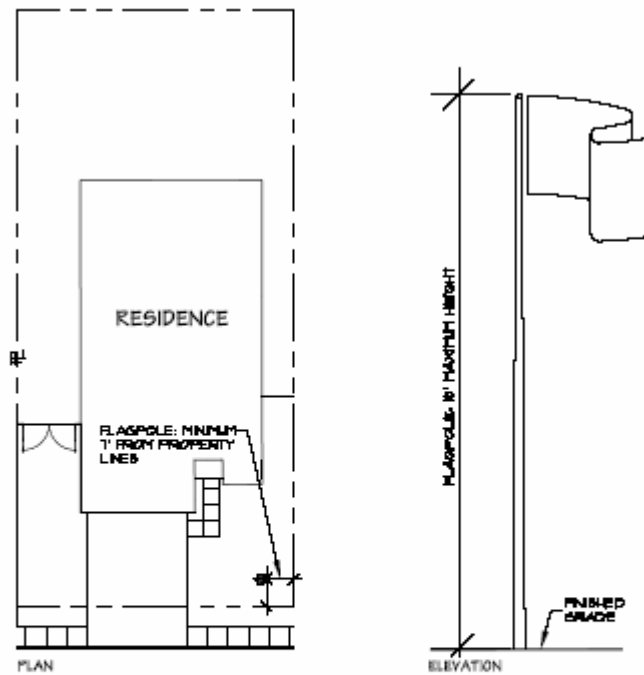
FINE GRADING AND MOUNDING

Fine grading is a critical aspect of landscaping. Each lot shall be graded such that all storm water will drain away from the house. It is extremely important that this drainage pattern be maintained when preparing the landscape design, especially if mounding or berming is proposed. Because of the difficulty and importance of maintaining the individual lot drainage pattern and creating natural appearing mounding, it is recommended that a Registered Landscape Architect or design professional be consulted. Mounding and other proposed grade changes will be closely scrutinized. In no event shall any swales or depressions that have a lower grade than any adjacent sidewalk be placed closer than five feet to the back edge of the adjacent sidewalk.

FLAGS/FLAGPOLES

The Association will allow flagpoles subject to the Committee's review and approval of its dimension and location.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES



- NOTES:
- FLAG POLES CANNOT EXCEED A MAXIMUM HEIGHT OF 5 FEET
 - FLAG POLES MUST HAVE A RETRACK OF 1 FEET FROM PROPERTY LINE
- THE ASSOCIATION WILL CONSIDER FLAGPOLES SUBJECT TO THE COMMITTEES REVIEW AND APPROVAL OF IT'S DIMENSIONS AND LOCATION.

FLAG POLE EXHIBIT
CORTESSA

N.T.S.

GARAGES

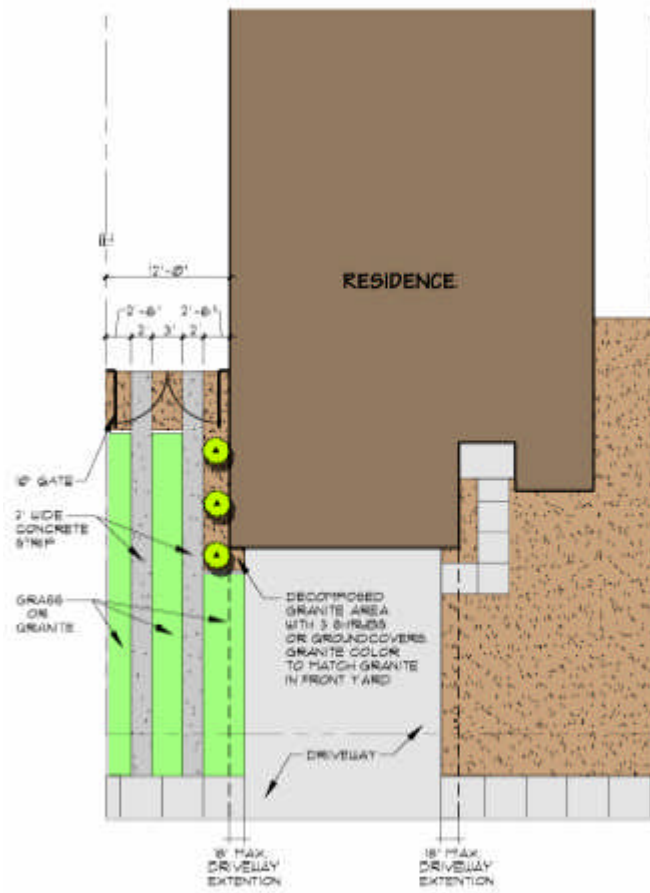
All Dwelling Unit construction must have an enclosed garage integrated with the house. Garage doors shall be sectional and windows are encouraged. Garage doors should remain closed when the garage facility is not in use. Open carports or garage conversions are not permitted except in the case of model homes whereby conversions are permitted until the end of the selling period when they must be restored to a full garage.

GATES

Gates must have a metal frame and may have wood slats. Gates opening onto Common Areas are prohibited. Double gates may be installed to allow wider access ways to back yards subject to approval from the Committee. Double gates must also have metal frames and may have wood slats. All gates must be natural wood colored or painted to match the color of the adjacent block wall or stained a natural wood color. The metal frames may be painted black.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

Gates shall not be permitted in any perimeter theme wall without prior approval of the Committee.

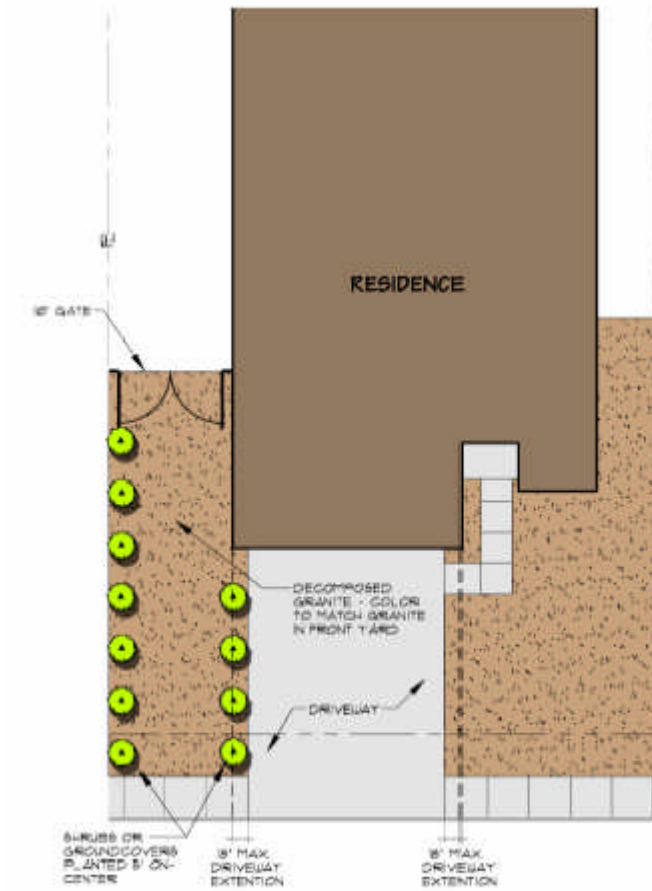


OPTION A'
STANDARD DOUBLE GATE ACCESS DETAIL

CORTESSA

N.T.S.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES



OPTION B:
STANDARD DOUBLE GATE ACCESS DETAIL

CORTESSA

N.T.S.

HEADER MATERIAL

Headers shall be used to contain and separate rock ground cover from grass and Common Areas. Brick, steel, concrete and 1/4" to 1" pressure treated redwood are permitted. Headers may not exceed 12" in width and shall be flush where they abut other paved areas. Railroad ties, plastic, aluminum, or redwood header smaller than 1/8" x 4" is prohibited.

IRRIGATION SYSTEMS

All landscaped areas must be equipped with an underground irrigation system. A low-pressure drip irrigation system is encouraged for all shrubs and ground cover areas. Daytime watering of shrubs and turf areas should be avoided.

LANDSCAPE REQUIREMENTS

In order to develop landscaping consistency throughout the neighborhood, a minimum of one 24" box tree, one 15-gallon tree and six 5-gallon plants are required in the front yard of each unit. A plant list is provided in Exhibit "A". Plants listed as "for rear

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

yards only” cannot be used in front yards. Covered open porches, courtyards, low walls, fountains or other features, may be used to supplement and create imaginative landscape designs subject to approval of the Committee.

All front yard landscaping plans are subject to approval by the Committee unless a pre-approved standard landscaping package provided by the Builder is used. Non-conforming landscaping is subject to removal or conformance if not otherwise approved by the Committee.

Each individual Dwelling Unit site will be required to complete front yard landscaping within ninety days from the close of escrow. It is recommended that backyard landscaping be installed at this time too, since construction access to the backyard is often through the front yard.

LIGHTING

The use of outside lighting is allowed with the following restrictions:

- Coach lights, porch and patio lights shall be per Builder installation. Any changes to Builder’s installed fixtures will require Committee approval.
- Exterior lighting must be soft and indirect with no light sources directly visible to neighboring properties or creating any nuisance.
- No colored light bulbs, lenses, or reflections are permitted in the front yard.
- No outdoor flood lights where light spills over onto a neighbor’s property except in the case of model home(s).
- Low-pressure sodium bulbs are discouraged.
- All outside lights shall be screened wherever possible with walls, plant materials or internal shielding.
- Malibu type lights are permitted.
- Low voltage lighting is acceptable.

ORNAMENTS

No figurines, shrines or other artwork are permitted in front yards unless screened from view of the street. All functional and/or decorative items must be approved before being placed in the front yard or any portion of the rear yard that is Visible From Neighboring Property (e.g., swings, benches, stools, etc.).

PATIO COVERS

Patio covers must be painted to match the color of the body or trim of the existing Dwelling Unit and all must have a permit

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

issued by Maricopa County. Replacement roofing materials shall match that which was installed by the builder on the original roof of the Dwelling Unit or that which were offered as an option by the builder for a patio cover. Asphalt shingles (including rolled shingles) are expressly prohibited. The patio roof shall be flat or match the pitch of the Dwelling Unit. All patio covers, not installed by the builder, will need to be reviewed and approved by the Committee on an individual basis prior to installation.

POOLS AND SPAS

Plans for back yard pools and spas need not be submitted for Committee approval.

The location, appearance and height of pool slides are subject to approval of the Committee if they are Visible From Neighboring Property.

Perimeter walls on lots bordering common landscaped areas may not be torn down. Access must be gained by tearing down a front wall of the lot, leaving the perimeter wall intact, thereby assuring the texture and color consistency throughout the community.

All pool and spa equipment must be screened from view of neighboring property.

Pool Fencing:

The specifications for rear yard wrought iron pool fencing installation on a Lot with view fencing shall be a neutral earth tone color to match or blend with the exterior color of the Dwelling Unit and meet all County, State and Federal requirements.

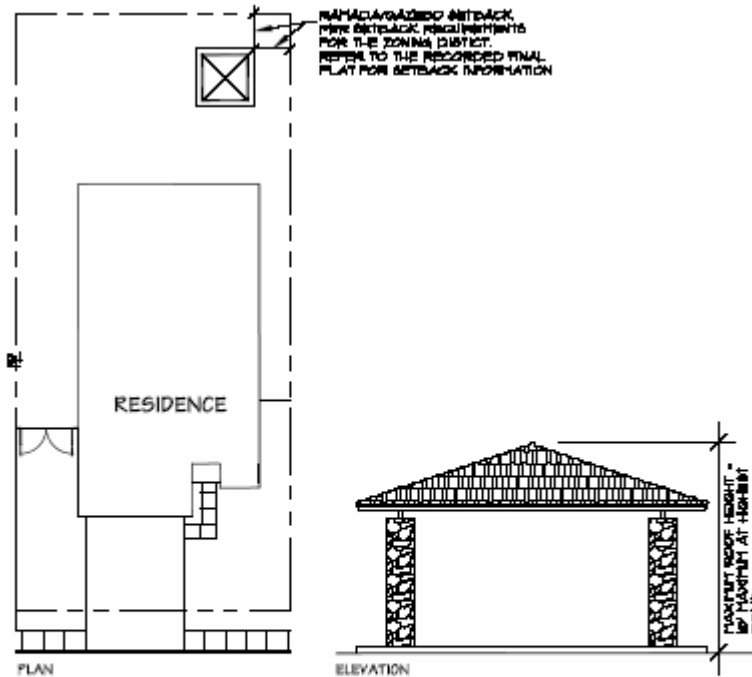
RAMADAS AND GAZEBOS

Ramadas and gazebos may be erected in rear yards only subject to prior review and approval by the Committee, subject to the following guidelines:

- Maximum square footage (under roof area) is 120 square feet.
- Maximum roof height is 10' at the highest point.
- The setback for the structure from the perimeter wall must meet the setback requirements for the zoning district. Refer to the recorded final plat for setback information.
- The structure must be painted to match house color and maintained in good condition.
- Any roof tile must also match the tile of the house.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

- Lighting of the structure must be approved by the Committee prior to installation.



- NOTES:
- MAXIMUM SQUARE FOOTAGE (UNDER ROOF AREA) IS 800 SQUARE FEET.
 - THE STRUCTURE MUST BE PAINTED TO MATCH HOUSE COLOR AND MAINTAINED IN GOOD CONDITION.
 - ANY ROOF TILE MUST MATCH THE TILE OF THE HOUSE.
 - LIGHTING OF THE STRUCTURE MUST BE APPROVED BY THE COMMITTEE PRIOR TO INSTALLATION.

RAMADA / GAZEBO EXHIBIT
CORTESSA

N.T.S.

ROCK GROUND COVER

Rock ground cover may be decomposed granite or other natural rock material approved by the Committee. All bare earth must be covered.

Decomposed Granite

Decomposed granite in the front yard or areas visible from the street must be earth-toned in color. Acceptable colors include:

- Gold
- Beige
- Blonde
- Coral
- Mauve

Artificially colored rocks (blue, green, white or other non-earth tones) are not permitted. Only ¾" minus, ½" minus, ¾" screened or ½" screened are acceptable. All decomposed granite shall be

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

spread a minimum of 2" deep, and shall be treated with pre-emergent weed control at regular intervals to retard weed growth.

Boulders

Only granite boulders of a color similar to the indigenous rock of the area are allowed. All such boulders must be buried with 1/3 the diameter below grade.

River Run Rock

River run rock shall be 3" to 8" in diameter. Not more than 10% of the front yard landscape area may be river run rock. The river run rock must stop 5 feet from the back edge of any adjacent sidewalk.

ROOF MOUNTED MECHANICAL EQUIPMENT

In general, roof mounted mechanical equipment is prohibited. Solar panels may be permitted in accordance with provisions set forth below. Screening must be compatible with the building design and the Committee must approve all roof mounted mechanical equipment.

ROOFING

Roof covering materials shall be concrete tile. No composite shingle roofing or shake will be allowed.

All vent pipes extending through a roof must be painted to match the roof tile. All flashing must also be painted to match the roof tile.

Overhead screens, shade covers, and other similar structures must be integrated into the design of the Dwelling Unit and constructed of materials and color to match or complement the structure. All such roofs must be submitted to the Committee for approval prior to installation.

SECURITY DOORS AND SCREEN DOORS

Security doors, security gates and screen doors must be metal and painted to match the exterior color or trim of the house. Any designs on the doors must be southwestern in nature and not cover more than 20% of the door. Any security doors, security gates and screen doors that do not meet the above criteria must be submitted to the Committee for approval prior to installation.

SECURITY SIGNS

Security signs must be located a maximum distance of 2' from the front of the Dwelling Unit. Security signs must not exceed 12" by 12" and must be maintained in good condition at all times.

SOLAR PANELS

Solar panels must be approved by the Committee before installation. Any approved solar panel must blend with the

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

existing roof and be screened from view. Roof mounted panels can have a surface area of 8' by 6' and must be an integrated part of the roof design and mounted directly to the roof plane. Solar units must not break the roof ridgeline and must not be visible from public view. Any solar panels and/or equipment exceeding a surface area of 8' by 6' must be ground mounted and shall not be Visible From Neighboring Property, Common Areas, streets or public right-of-ways.

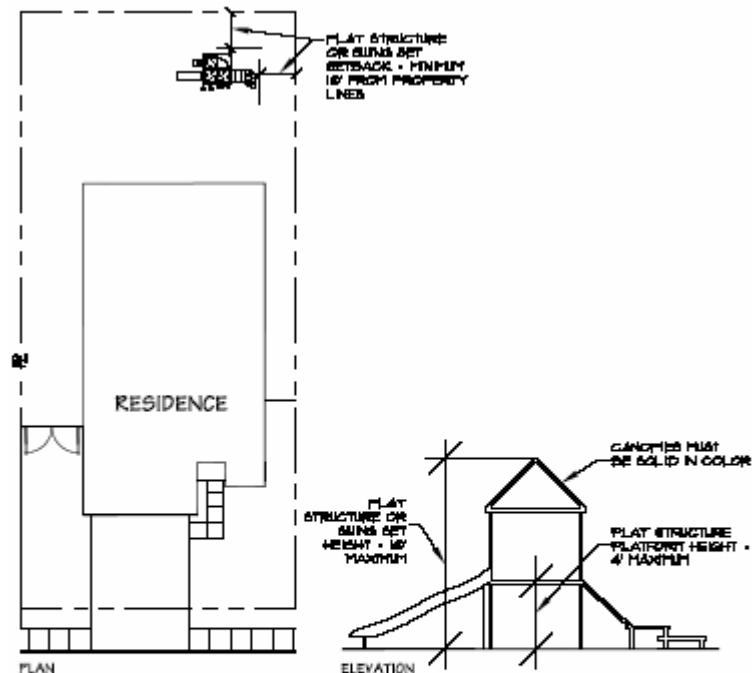
STORAGE SHEDS

Storage sheds will need to be submitted to the Committee for approval. They must not exceed the maximum height of the immediately surrounding wall(s) or fence(s) and must be screened from view of all Common Areas. Approval in writing must be obtained from neighboring lots and include the owner's name, lot number and street address if the shed height will exceed surrounding walls or fences. The setback for the storage shed from the perimeter wall must meet the setback requirements for the zoning district. Refer to the recorded final plat for setback information.

SWING SETS, PLAY STRUCTURES

The location of swing sets, play structure and the like are subject to approval of the Committee if they are Visible From Neighboring Property. The Committee will consider a request for locating swing sets, play structures and the like if the properly filled out form (Exhibit "B") is attached to the request together with a detailed drawing or photograph. A swing set, play structure request needs to include a dimensional backyard layout

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES



- NOTES:**
- MAXIMUM HEIGHT CANNOT EXCEED 10 FEET AT ANY POINT
 - MINIMUM SETBACK FROM PROPERTY LINE MUST BE 16 FEET
 - MAXIMUM HEIGHT OF ANY PLATFORM CANNOT EXCEED 4 FEET
 - CANOPY MUST BE SOLID IN COLOR

THE LOCATION OF SWING SETS, PLAY STRUCTURES AND THE LIKES ARE SUBJECT TO APPROVAL OF THE COMMITTEE IF THEY ARE VISIBLE FROM NEIGHBORING PROPERTY. THE COMMITTEE WILL CONSIDER A REQUEST FOR LOCATING SWING SETS, PLAY STRUCTURES AND THE LIKES IF THE PROPERLY FILLED OUT FORM (EXHIBIT 'B') IS ATTACHED TO THE REQUEST TOGETHER WITH A DETAILED DRAWING OR PHOTOGRAPH.

SWING SET / PLAY STRUCTURE EXHIBIT

CORTESSA

N.T.S.

TURF (GRASS AREAS)

Front yard turf areas are required to be contained by continuous walkways, driveways, headers, decorative walls, or topographical features such as mounding or boulders.

VARIANCES

In the event a variance is requested, the following items must be submitted to the Committee.

- A typed letter referencing the address of the Dwelling Unit involved, the name of the subdivision, a request that a variance be granted, a description of the variance(s) requested, and the reason for needing the variance(s).
- Any plans, photographs or other visual aids that will help to explain the variance(s) request should be included.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

- If a landscape variance is requested, a landscape plan must be prepared and submitted which shows the footprint of the house and indicates plant varieties and locations.

The Committee will respond in writing to a request for variance(s) within thirty (30) calendar days of receipt or if no response is given the request is deemed denied.

WATER FEATURES

Water features are permitted within rear yard areas. Any such items installed in the rear yard must not exceed the fence line height. With prior written approval as to design, safety and other considerations and other criteria as the Committee may establish, the Committee will consider allowing the placement of water features in the front yard, but only if the feature is located near the entry to the house.

WINDOW COVERINGS

Permanent draperies or suitable window treatments must be installed on all windows within sixty days of occupancy. All first floor windows visible from the street must have customary window treatments. Newspaper, sheets or reflective materials, including but not limited to, aluminum foil, reflective screens or glass, mirrors or similar type material, shall not be installed or placed upon the outside or inside of any windows. Bright colors are not permitted.

Bronze or charcoal sunscreen material may be installed. The frame or window/sun screens must match the screen material or the existing window frames.

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

EXHIBIT A

APPROVED PLANT LIST

The following is the approved plant list for the selection of plants for Lots and landscape tract landscaping. Homeowners are encouraged to develop a landscaping plan for their properties and then select plants that will look good on the property and in the context of neighboring properties. Property owners should be mindful of the water and irrigation requirements for specific plants and groups of plants, the maintenance requirements, and the size and shape the selected plants will attain in the coming years.

Homeowners can develop a landscaping plan with a desert theme, or a more lush landscape theme, or a combination of both. Landscaping suited to the southwest desert environment is highly recommended. Homeowners may use decomposed granite, or grass turf, or a combination of both, in front yard areas.

SOUTHWEST DESERT LANDSCAPE PLANT LIST

| | <u>Common Name</u> | <u>Botanical Name</u> |
|-------|------------------------|---------------------------|
| Trees | Abyssinian Acacia | Acacia abyssinica |
| | Argentine Mesquite | Prosopis alba |
| | Blue Palo Verde | Cercidium floridum |
| | Chilean Mesquite | Prosopis chilensis |
| | Creosote Bush | Larrea divaricata |
| | Desert Fern | Lysiloma microphyllum |
| | Desert Ironwood | Olneya tesota |
| | Desert Spoon | Dasyliirion wheeleri |
| | Desert Sweet Acacia | Acacia smalli |
| | Desert Willow | Chilopsis linearis |
| | Foothill Palo Verde | Cercidium microphyllum |
| | Golden Ball Lead Tree | Lucaena retusa |
| | Honey Mesquite | Prosopis glandulosa |
| | Mescal Bean | Sophora secundiflora |
| | Mexican Ebony | Pithecellobium mexicana |
| | Palo Blanco | Lysiloma candida |
| | Palo Brea (Palo Verde) | Cercidium praecox |
| | Palo Blanco Acacia | Acacia willardiana |
| | Blue Palo Verde | Cercidium floridum |
| | Screwbean Mesquite | Prosopis pubescens |
| | Shoestring Acacia | Acacia stenophylla |
| | Sweet Acacia | Acacia farnisiana |
| | Texas Ebony | Pithecellobium flexicaule |
| | Velvet Mesquite | Prosopis velutina |

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

| | | |
|----------|---|--|
| | Western Honey Mesquite White Bark Acacia Willow Acacia | Prosopis glandulosa Lysoma candida Acacia Salicina |
| Agave | Cowshorn Marginata Mescal Ceniza Murphy's Octopus Parry's Royal Smooth-edged Twin Flower Agave | Agave bovicornuta Agave americana Agave colorata Agave murpheyi Agave vilmoriniana Agave parryi Agave victorae-reginae Agave weberi Agave gemniflora |
| Aloe | African Aloe Coral Aloe Medicinal Aloe Tree Aloe Tree Aloe | Aloe saponaria Aloe striata Aloe barbadensis Aloe ferox Aloe marlothii |
| Cacti | Beavertail Prickly Pear Blind Prickly Pear Buckhorn Cholla Compass Barrel Cactus Englemann's Prickly Pear Fishhook Barrel Golden Barrel Cactus Hedgehog Cactus Hildmann's Cereus Mexican Organ Pipe Purple Prickly Pear Robust Prickly Pear Saguaro Santa Rita Prickly Pear Teddy Bear Cholla Trichocereus | Opuntia basilaris Opuntia rufida Opuntia acanthocarpa Fercactus acanthodes Opuntia phaecantha Ferocactus wislizenii Echinocactus grusonii Echinocereus engelmannii Cereus hildmannianus Pachycereus marginatus Opuntia macrocentra Opuntia robusta Carnegiea gigantea Opuntia sanat-rita Opuntia bigelovii Trichocereus candicans |
| Ocotillo | Ocotillo Ocotillo Macho, Chunari | Fouquieria splendens Fouquieria macdougalii |
| Yucca | Banana Beaked, Beard Blue Joshua Tree | Yucca baccata Yucca rostrata Yucca rigida Yucca brevifolia |

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

| | | |
|-----------------------------|------------------------------|--------------------------|
| | Soaptree | Yucca elata |
| | Spanish Dagger/Palm Lily | Yucca gloriosa |
| | Curveleaf/Pendulous Yucca | Yucca recurvifolia |
| | Spanish Bayonet/Dagger Plant | Yucca aloifolia |
| Shrubs and Ground Covers | Senna | Cassia purpussii |
| | Angelita Daisy | Hymenoxys acaulis |
| | Arizona Rosewood | Vauquelinia californica |
| | Arizona Sophor | Sophora arizonica |
| | Bambo Grass | Muhlenbergia dumosa |
| | Beard Tongue | Penstemon species |
| | Bird of Paradise | Caesalpinia platyloba |
| | Blue Sage | Salvia chamyroides |
| | Bull Grass | Muhlenbergia emersleyi |
| | Bull Grass | Muhlenbergia emersleyi |
| | Bush Morning Glory | Convolvulus cneorum |
| | Candle Bush | Cassia circinnata |
| | Catclaw Acacia | Acacia greggii |
| | Centennial Hybrid Broom | Baccharis centennial |
| | Chaparral Sage | Salvia clevelandii |
| | Coahuilan | Hesperaloe funifera |
| | Copper Bird of Paradise | Caesalpinia pumila |
| | Coral Yucca | Hesperaloe narviflora |
| | Cresote Bush | Larrea tridentata |
| | Crucifixion Thorn | Canotia holacantha |
| | Deer Grass | Deer Grass |
| | Desert Bird of Paradise | Caesalpinia gilliesii |
| | Desert Holly | Atriplex hymenelytra |
| | Desert Lavender | Hyptis emoryi |
| | Desert Milkweed | Asclepias subulata |
| | Desert Ruellia | Ruellia penninsularis |
| | Desert Salt Bush | Atriplex polycarpa |
| | Desert Spoon | Dasyliron wheeleri |
| | Fairy Duster | Calliandra californica |
| | Fairy Duster | Calliandra penninsularis |
| | Feather Dalea | Dalea pulchra |
| | Feathery Cassia | Cassia artemesiodes |
| | Fern Acacia | Acacia angustissima |
| | Firecracker Bush | Justica candicans |
| | Four Wing Salt Bush | Atriplex canescens |
| | Golden Wonder Cassia | Cassia goldmannii |
| | Green Feathery Cassia | Cassia nemophylla |
| | Hop Bush | Dodonea viscosa |
| | Hummingbird Flower | Zauschneria latifolia |

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

| | |
|------------------------------|-------------------------------|
| Indigo Bush | Dalea bicolor |
| Indigo Bush | Dalea wislizeni |
| Jojoba | Simmondsia chinensis |
| Leather Leaf Acacia | Acacia craspedocarpa |
| Little Leaf Cordia | Cardia parviflora |
| Mealy Cup Sage | Salvia farinacea |
| Mescal Bean, TX Mtn. Laurel | Sophora secundifolio |
| Mexican Bird of Paradise | Caesalpinia mexicana |
| New Zealand Cassia | Casia candoleana |
| Old Man Salt Bush | Atriplex nummularia |
| Quail Bush | Atriplex lentiformis |
| Red Bird of Paradise | Caesalpinia pulcherrima |
| Red Yucca | Hesperaloe parviflora |
| Ruellia | Ruellia californica |
| Sage Species | Leucophyllum sp. |
| Salt Bush | Atriplex mulleri |
| Scrub Oak | Quercus turbinella |
| Shrubby Cassia | Cassia wislezenii |
| Silver Cassia | Cassia philodinea |
| Sturts Cassia | Cassia sturtii |
| Sturts Desert Peas | Clanthus formosus |
| Texas Cassia | Cassia biflora |
| Trailing Acacia | Acacia redolens |
| Velvet Pod Mimosa | Mimosa dysocarpa |
| Blackfoot Daisy | Melampodium leucanthum |
| Bursage | Ambrosia deltoidea |
| California Fuchsia | Zauschneria californica |
| Desert Mallow | Sphaeralcea amibila |
| Desert Marigold | Boileya multiradiata |
| Gold Mount, Purple, Confetti | Lantana species |
| Mexican Blue Sage | Salvia chamaebryoides |
| Mexican Primrose | Oenothera berlandieri |
| Myoporum | Myoporum pavifolium |
| Rock Verbena | Verbena pulchella "gracilior" |
| Scarlet Sage | Salvia greggii |
| Trailing Indigo Bush | Dalea greggi |
| Prairie Zinnia | Zinnia grandiflora |
| Desert Marigold | Baileya multiradiata |
| Golden Fleece Dahlberg Daisy | Dyssodia pentachaeta |
| Gold Crucifier | Rallistroemia grandiflora |
| Goldfield | Baeria chrysostoma |
| Mexican Gold Poppy | Eschscholzia mexicana |
| Prickly Poppy | Argemone plicantha |

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

Pink Verbena
Yellow Bell

Verbena Peruviana
Tacoma Stans

LUSH LANDSCAPE PLANT LIST

| | <u>Common Name</u> | <u>Botanical Name</u> |
|-----------------------------|--|---|
| Palm Trees | Date Palm (rear yard only) Mediterranean Fan Palm Mexican Blue Palm Mexican Fan Palm Queen Palm Sago Palm Windmill Palm | Phoenix dactylifera Chamaerops humilis Brahea armata Washingtonia robusta Arecastrum romanzoffianum Cycas revoluta Chamaerops fortunei |
| Other trees | Evergreen Elm Benjamina Ficus Cork Oak Indian Laurel Fig Mondel Pine (rear yard only) Ash Trees Blue Leaf Wattle Brazilian Pepper Tree California Pepper Tree Chaste Tree Chinese Pistache Citrus (rear yard only) Evergreen Pear Fruit Trees (rear yard only) Jacaranda Holly Oak Olive Orchid Tree Pine Purple Leaf Plum Privet Tree Sissoo Tree Southern Live Oak | Ulmus parvifolia Ficus benjamina Quercus suber Ficus microcarpa nitida Pinus brutia eldarica Fraxinus species Acacia saligna Schinus terebinthifolius Schinus molle Vitex agnus-sactus Pistachia chinensis Citrus Pyrus kawakamii Citrus species Jacaranda mimosifolia Quercus ilex Olea europaea "swan hill" Bauhinia species Pinus species Prunus cerasifera 'atropurpurea' Ligustrum species Dalbergia sissoo Quercus virginiana |
| Shrubs and Ground Covers | Arcadia Juniper Australian Salt-Bush Blue Hibiscus Bougainvillea | Juniperus "arcadia" Xylosma species Hibiscus species Bourganvillea brasiliensis |

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

| | |
|-------------------------------|----------------------------|
| Cape Honeysuckle | Tecomaria capensis |
| Cape Plumbago | Plumbago auriculata |
| Common Bermuda | Cynodon dactylon |
| Creeping Juniper | Juniperus horizontalis |
| Daylily | Hemerocallis |
| Dwarf Oleander | Nerium oleander |
| Euryops Daisy | Euryops species |
| Fraser's Photinia | Photinia fraseri |
| Hearts and Flowers | Apetenia cordifolia |
| Heavenly Bamboo | Nandina domestica |
| Hibiscus | Hibiscus species |
| Hummingbird Trumpet | Zauschneria latifolia |
| Indian Hawthorn | Rhaphiolepis indica |
| Katie Ruella | Ruella species |
| Lavender Cotton | Santolina chamaecyparissus |
| Mexican Heather | Calluna vulgaris species |
| Mexican Honeysuckle | Justicia spicigera |
| Mint Julep Juniper | Juniperus chinensis |
| Mock Orange | Pittosporum tobira |
| Myrtle | Myrtus communis |
| Natal Plum | Carrisa grandiflora |
| Oleanders (other than dwarfs) | Nerium Oleander |
| Pendulus Yucca | Yucca recurvifolia |
| Periwinkle | Vinca Minor |
| Pyracantha | Pyracantha species |
| Regal Mist | Muhlenbergia species |
| Rocky Point Ice Plant | Malephora Lutea |
| Rosemary | Rosmarinus officinalis |
| Sprenger Asparagus | Asparagus Sprengeri |
| Spanish Bayonet | Yucca aloifolia |
| Spanish Dagger | Yucca gloriosa |
| Star Jasmine | Trachelopermum jasminoides |
| Prostrate myoporium | Myoporaceae parvifolium |
| Xylosma | Xylosma species |
| Yaupon Holly | Ilex vomitoria |
| Yew Pine | Podocarpus species |
| Vines | Gelsemium sempervirens |
| Carolina Jasmine | Ficus pumila |
| Creeping Fig | Rosa banksiae |
| Lady Banks Rose | |

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

PROHIBITED FOR FRONT & REAR YARDS

| <u>Common Name</u> | <u>Botanical Name</u> |
|----------------------------|-----------------------|
| Cypress* | Cupressus |
| False cypress | Chamaecyparisus |
| Olive (fruiting) | Olea europaea |
| Mexican Palo Verde | Parkinsonia aculeata |
| Thevetia - Yellow Oleander | Thevetia peruviana |
| Fountain Grass | Pennisetum setaceum |

* The ARC may, in its discretion, allow the installation of this plant with the following restrictions: (a) is not installed closer than three feet to a Dwelling Unit; (b) must be trimmed so as to not exceed the height of Dwelling Unit; (c) may not be used in hedge applications; and (d) shall not encroach into neighboring Lots or Parcels.

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

EXHIBIT B

CORTESSA COMMUNITY ASSOCIATION

Architectural Design Request for Approval Form

The Declaration of Covenants, Conditions, Restrictions, Reservations, and Easements for Cortessa (the “CC&R’s”) require that an owner obtain the prior written approval of the Design Review Committee or its nominee(s) (the “Committee”) for any exterior alteration or addition to property within Cortessa.

To comply with the CC&R’s, please complete the form below. Attach a detailed drawing or blueprint of the proposed alteration and/or addition. The drawing should specify dimensions, materials to be used and colors. This application and the drawing will be retained for the Committee records.

HOMEOWNER INFORMATION

NAME: _____

LOT #: _____ **SUBDIVISION:** _____

ADDRESS: _____

CITY: _____ **STATE:** _____ **ZIP** _____

PHONE/BUSINESS: _____ **PHONE/HOME:** _____

Prior to committee review, the homeowner must sign to verify that:

1. His/Her Association fees are paid and current;
2. No fees and/or fines are owed to the Association and;
3. I understand and agree that **NO** work on this request shall commence until approval of the Committee has been received by me.

HOMEOWNER SIGNATURE: _____

DATE: _____

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

REQUEST

Description of Request - Provide full details of purpose and/or reason, type, color, size/dimensions of improvement and materials, and location utilizing this form. Use additional 8½" x 11" paper if necessary. **NOTE: AN ACCURATE DRAWING MUST BE ATTACHED. AN ACCURATE SITE PLAN MUST ALSO BE INCLUDED. FOR SWING SETS/PLAY STRUCTURES PLEASE INCLUDE SPECIFIC DIMENSIONS MAKE/MODEL AND PICTURES OF STRUCTURE IF AVAILABLE AND COMPLETELY FILL OUT NEIGHBOR ACKNOWLEDGEMENT FORM.**

DESCRIPTION

OF ALTERATIONS:

CONTRACTOR:

Address:

City/State/Zip:

Phone:

MATERIAL(S)*:

COLOR(S)*:

*(include sample paint chips or materials if appropriate)

DIMENSIONS:

RETURN TO:

Cortessa Community Association
c/o Kinney Management Services
Post Office Box 25466
Tempe, Arizona 85285

For Additional Information Call: (480) 820-3451

| |
|--|
| <p>The Committee's review and approval is limited to and <u>only</u> pertains to the <u>ITEMS DESCRIBED ABOVE</u>. The fact that the information not specifically requested is shown on the plan does not mean that it is approved as part of the submittal.</p> |
|--|

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

COMMITTEE ACTION

The Committee has taken the following action on this application:

_____ **REJECTED.** Application either fails to meet one or more of the requirements set forth in the Design Review Guidelines or is believed to be in some manner inconsistent with the character of the community.

_____ **REVIEWED THE APPLICATION.** The following revision(s) and additional submission(s) are required to meet the Cortessa Community Association Guidelines:

_____ **REVIEWED AND CONDITIONALLY APPROVED** the Architectural Design Form with the following changes required:

_____ **REVIEWED AND APPROVED.** The Architectural Design Form submitted as meeting the requirements of the Cortessa Community Association Guidelines. This approval is subject to all applicable County and State permits, codes and regulations. Compliance with said issues is the responsibility of the homeowner.

FOR THE COMMITTEE: _____

DATE: _____