

***CORTESSA
COMMUNITY ASSOCIATION***

DESIGN REVIEW GUIDELINES

*Adopted: May 23, 2005
Updated: February 20, 2018*

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

GENERAL PROVISIONS

1. All capitalized terms in these Design Review Guidelines shall be given the meaning used in the Definitions set forth in Appendix A of the recorded Declaration of Covenants, Conditions, Restrictions, Reservations and Easements for Cortessa.
2. No Improvement, exterior alteration, repairs, excavation, grading, landscaping, paint color scheme, change of paint color, change of stucco texture, or other work which in any way alters a Lot or Parcel, or the exterior appearance of Improvements located thereon, shall be contracted for, constructed or installed or made within Cortessa without the prior written approval of the Design Review Committee.
3. In exercising its discretion in approving, disapproving or imposing conditions on an Architectural Design Request (Exhibit B) to construct an Improvement or any exterior modification, the Committee will consider the content of the Architectural Design Request and information provided by the applicant, the terms of the Design Review Guidelines, any statutory or case law applicable to the proposed Improvement or exterior modification, and any other factors material to the Request, including but not limited to the uniqueness of the lot or parcel, the proposed Improvement and its location, the size and height (or elevation) of the Improvement, the size of the lot or parcel, construction materials and design, the purpose of the Improvement, the uniqueness of the Improvement, nature of the adjacent properties, compliance with setback requirements, the visual impact of the Improvement, the landscape and architectural character of the development, and the interests of current and future members of the Association. These factors are not intended to be exhaustive.
4. The Design Review Guidelines are subject to the interpretation or modification by the Committee, in its sole discretion. No Owner should assume that an Improvement or exterior modification which appears to meet the Design Review Guidelines will be approved or is otherwise approvable. No Owner should construct an Improvement on the basis of the Owner's own reading or interpretation of the Guidelines.

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5. Any Owner who proceeds with a contract, purchase or construction of an Improvement without prior written approval of the Committee bears the financial risk that the Committee may deny the Improvement or require a modification of the Improvement. The Owner who proceeds without prior written approval is fully responsible for the burden of removal or modification, including the costs thereof and restoration of the the Lot or Parcel to its prior condition.
6. No Owner shall rely upon a verbal approval or representation (including one made by a member of the Committee or the Board or the property manager) that a proposed Improvement is approved. The Owner may only rely upon the written approval of the Design Review Committee. This requirement ensures that the Owner is not confused or misguided regarding the approval.
7. The Design Review Guidelines cannot include all of the potential Improvements which can be conceived and proposed to the Committee. Where no specific guideline exists, the Committee shall consider all other factors discussed above, any analogous guideline or covenant, or any other source of information helpful to the Committee.
8. The Declaration recognizes that the Design Review Guidelines may vary or apply differently to different parts of Cortessa. The Committee may determine that a general guideline herein may not apply or is inappropriate for a particular area within Cortessa, such as a Neighborhood, Benefitted Assessment Area, parcel assessment areas, or other unique areas. By way of example, these Design Review Guidelines include a provision addressing structures on larger Lots within Parcels 16, 17 and 18.
9. The Declaration contains additional provisions regarding the Committee and the design review process, which will not be repeated here.

ANTENNAS

Antennas one meter or less in diameter or diagonal measurement, together with their associated mounting hardware and mast, if applicable (an "Antenna System"), must comply with the following restrictions if they are to be placed, installed or kept on a Lot outside of a Dwelling Unit, unless compliance would impair

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the installation, maintenance or use of an Antenna System used to (i) receive direct broadcast satellite service or receive or transmit fixed wireless service via satellite; (ii) receive video programming services via multipoint distribution or receive or transmit fixed wireless signals other than via satellite; or (iii) receive television broadcast signals:

(a) An Antenna System must be placed on a Lot in such a manner so as not to be Visible From Neighboring Property.

(b) If an Antenna System, cannot be placed on a Lot in such a manner as to not be visible from any other Lot, the Common Area or streets without unreasonably delaying or preventing the Lot Owner's installation, maintenance or use of the Antenna System, the Antenna System must be screened by landscaping or by some other means so that it is not visible from any other Lot, the Common Area, or streets, unless the landscaping or screening would impair the installation, maintenance or use of the Antenna System, in which case the Antenna System must be screened to the greatest extent possible without impairing the installation, maintenance or use of the Antenna System.

(c) If no other location is available without impairing the installation, maintenance or use of an Antenna System and the Antenna System must be mounted on a residence or other structure in a manner that will be visible from other Lots, the Common Area or streets, the Antenna System must be painted a color that will blend into the background against which the Antenna System is mounted unless the painting would impair reception.

(d) For purposes of these restrictions, the installation, maintenance and use of an Antenna System shall be deemed to be "impaired" only if the restriction causes one of the following to occur:

- (i) the restriction unreasonably delays or prevents installation, maintenance or use of the Antenna System;
- (ii) the restriction unreasonably increases the cost of installation, maintenance or use of the Antenna System; or
- (iii) the restriction precludes reception or transmission

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of an acceptable quality signal.

No dish that exceeds one meter in diameter or diagonal measurement may be placed, installed, constructed or kept on any Lot without the prior written approval of the Design Review Committee.

The foregoing design guideline for an Antenna System is intended to comply with the Federal Communications Commission's Over-the-Air Reception Devices ("OTARD") Rule. Such guideline shall not apply to any antenna or dish not protected by the OTARD Rule, including base station antenna or equipment of a commercial provider of wireless services, which will be considered by the Committee on a case-by-case basis.

AWNINGS

Awnings are generally prohibited except temporary awnings utilized at the model complexes during sales/marketing activities.

BUILDER APPROVALS

Pursuant to the Declaration, Designated Builders or ("Builders") desiring to construct improvements within Cortessa must have the proposed improvements approved by the Committee or its designee prior to submittal to Maricopa County (if required) and the commencement of construction. The submittal must include, as applicable, the following for the R1-6 RUPD, R1-8 RUPD and RURAL-43 subdivisions:

- Floor plans for each proposed improvement. Five different floor plans must be offered with each product series.
- Elevations of the Dwelling Unit or proposed addition or alteration. Three different elevations must be offered with each floor plan. No two front elevations that are identical are permitted to be built adjacent to or opposite from one another. This will ensure visual relief and varying aesthetic streetscapes throughout the project.
- Exterior paint color samples. Five different exterior base colors must be offered with each floor plan. Five different trim colors must be offered with each floor plan.
- Sample roof tiles with list of manufacturer, style, model number and/or color. A minimum of two different tile roof styles with three different complementary colors

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must be used.

- Landscape plans, plant lists and a minimum of three (3) different decomposed granite colors and sizes.

No changes from the submittal once approved by the Committee shall be made without prior written approval of the Committee.

ARCHITECTURAL STYLE

All Dwelling Units will be constructed in a southwestern style as approved by the Committee.

BASKETBALL GOALS

Basketball goals are permitted in front yards adjacent to driveways only upon prior written approval from the Committee and if they are pole mounted and permanently installed. Pole mounting fixtures are required to be black or match the exterior house colors. **Basketball goals may not be attached directly to any Dwelling Unit.**

- Backboards must be clear Plexiglas or match the color of the body of the exterior of the Dwelling Unit, or as otherwise approved by the Committee.
- All equipment must be reasonably maintained. Broken backboards, disfigured or bent rims, ripped or torn nets, chipped and/or peeling paint, etc., are expressly prohibited.
- Only nylon or similar cord nets are acceptable. Metal or chain nets are expressly prohibited.
- Courts may not be painted or permanently outlined on the driveway or other concrete surfaces Visible From Neighboring Properties.
- Lighting for basketball goals or night use of the equipment is prohibited.
- Portable basketball goals are expressly prohibited, except in rear yards at the Committee's discretion.
- Permanent basketball goals located in the rear yard must comply with all above applicable guidelines.

BUILDING HEIGHTS

Building heights are limited to two-story structures with a maximum height of 30' above the finished floor.

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COLORS/TONES

Exterior colors of all buildings and structures will be southwestern desert hues and must be approved by the Committee. Southwestern accent trim colors are permitted. Bright colors will not be permitted. Any change of exterior color, body or trim, must have prior approval of the Committee. An approved color palette for exterior structures is available on the Association's website at www.cortessaliving.com.

CONSTRUCTION PERIOD

Construction related to the initial Dwelling Unit shall be completed within twelve (12) months from the date of commencement of construction. Once started, construction shall be pursued diligently in order to assure prompt completion thereof. All other Improvements approved in writing by the Design Review Committee shall be completed by the Owner within forty-five (45) days of the date of such approval. In its discretion, the Committee may specify longer or shorter periods of time for any particular application. The Builder or Owner shall complete the Improvements in strict compliance with the Committee's written approval.

DISCLAIMER FOR LIABILITY

The Committee shall have no liability in connection with or related to approved or disapproved plans, specifications, or Improvements. The approval of plans does not mean that judgment is passed on the structural soundness of the Improvement nor its effect upon existing or future drainage. The review of the plans is for aesthetic purposes only.

DRIVEWAYS

Driveway extensions will be reviewed on an individual basis with strong consideration of any impact on the architectural features of the neighborhood. The maximum approved driveway extension is 18" on each side of the driveway, but in no case may a driveway exceed ten (10) feet in width. In no case may driveway extension ends be placed closer than 1' to a property line. Painted paved surfaces (whether driveways, sidewalks, or otherwise) are prohibited.

Sidewalks or walkways from the rear yard gate to the driveway to allow for trash container storage must be submitted to the Committee for review. These shall not exceed four (4) feet in width and must be constructed of concrete, pavers or brick in colors to compliment the home and front yard landscaping.

EXTERIOR HOUSE

Finished building materials must be applied to all exterior sides of

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MATERIALS

buildings and structures (final paint or stucco finish). Acceptable materials include stucco, masonry and brick (as approved by the Committee).

FENCING AND WALLS

Rear yard fencing is required on all lots and shall be maximum height of 6' as measured from the highest adjacent lot or a maximum of 7' as measured from the highest adjacent lot if adjacent to an arterial street, unless otherwise approved by the Committee. Fencing located between dwelling units and facing the street (commonly known as fence returns) shall be block painted, stained or integral colored (ICI 415 "Brown Tone" or the Sherwin Williams equivalent SW 9093 Nearly Brown) so as to be consistent throughout the subdivision. All fencing between dwelling units, not facing or adjacent to public right-of-way or open space can be painted cinder block or integral color cinder block. *Fencing not permitted:*

- Chain Link
- Wood Slat
- Wood Picket
- Free Standing on Property Line

Wood slats are permitted as part of a metal frame gate within a masonry block fence.

Garden walls are permitted to a maximum height of 48" and must match the architectural finish, texture, and style of the house, or be specifically approved otherwise as submitted to the Committee.

FINE GRADING AND MOUNDING

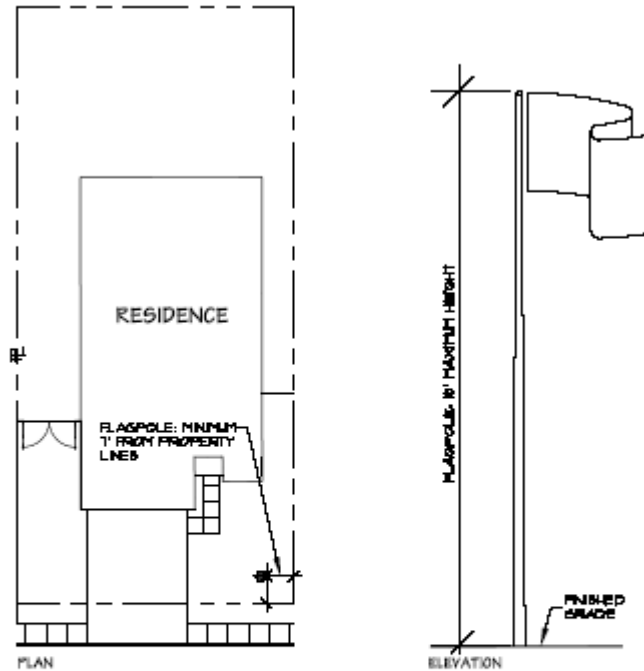
Fine grading is a critical aspect of landscaping. Each lot shall be graded such that all storm water will drain away from the house. It is extremely important that this drainage pattern be maintained when preparing the landscape design, especially if mounding or berming is proposed. Because of the difficulty and importance of maintaining the individual lot drainage pattern and creating natural appearing mounding, it is recommended that a Registered Landscape Architect or design professional be consulted. Mounding and other proposed grade changes will be closely scrutinized. In no event shall any swales or depressions that have a lower grade than any adjacent sidewalk be placed closer than five feet to the back edge of the adjacent sidewalk.

FLAGS/FLAGPOLES

The Association will allow flagpoles subject to the Committee's

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review and approval of its dimension and location. The American flag shall be displayed in a manner consistent with the federal flag code. (P.L. 94-344; 90 Stat. 810; 4 United States Code sections 4 through 10; ARS § 33-1808).



NOTES:
- FLAG POLES CANNOT EXCEED A MAXIMUM HEIGHT OF 8 FEET
- FLAG POLES MUST HAVE A SETBACK OF 1 FEET FROM PROPERTY LINE
THE ASSOCIATION WILL CONSIDER FLAGPOLES SUBJECT TO THE COMMITTEE'S REVIEW AND APPROVAL OF ITS DIMENSIONS AND LOCATION.

FLAG POLE EXHIBIT
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GARAGES

All Dwelling Unit construction must have an enclosed garage integrated with the house. Garage doors shall be sectional. Garage doors should remain closed when the garage facility is not in use. Garage conversions are not permitted except in the case of model homes whereby conversions are permitted until the end of the selling period when they must be restored to a full garage.

GATES

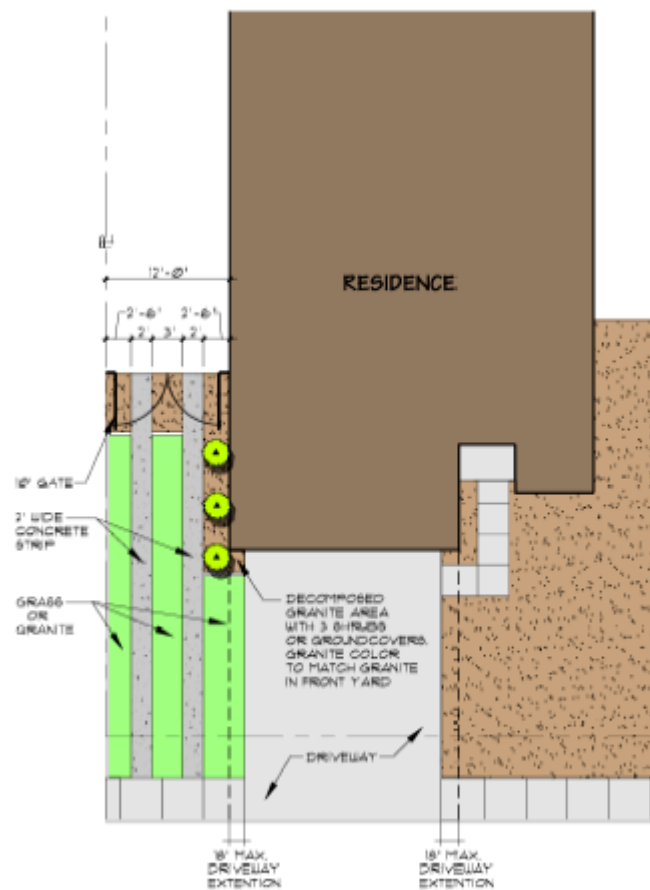
Gates must have a metal frame and may have wood slats. Gates opening onto Common Areas are prohibited. Double gates may be installed to allow wider access ways to back yards subject to approval from the Committee. Double gates must also have metal frames and may have wood slats. All gates must be natural wood colored or painted to match the color of the adjacent block

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wall or stained a natural wood color. The metal frames may be painted black.

Gates shall not be permitted in any perimeter theme wall without prior approval of the Committee.

The detail drawings below show optional access ways for double gates if desired. These options are for access only. Parking on the access ways is strictly prohibited.

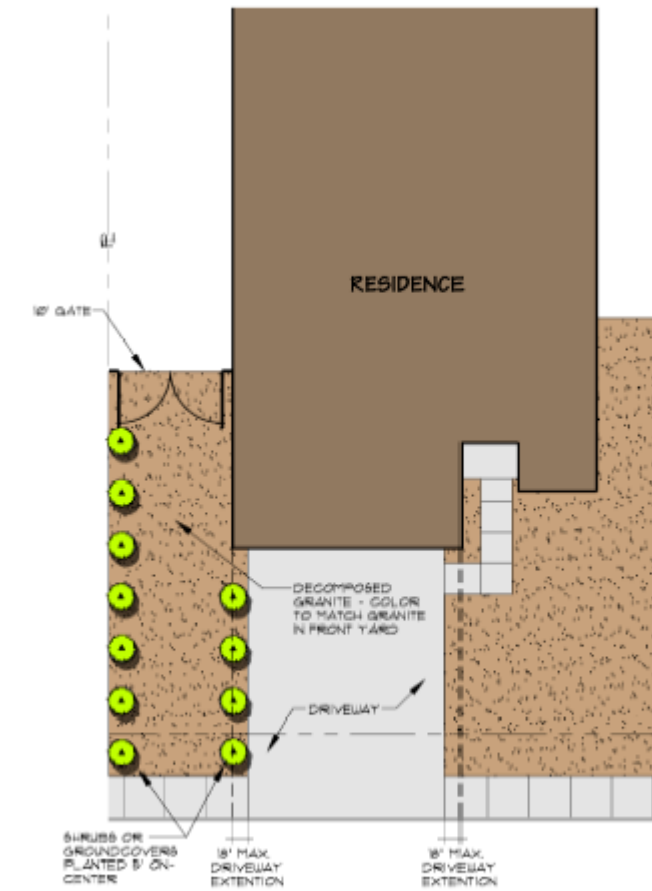


OPTION 'A'
STANDARD DOUBLE GATE ACCESS DETAIL

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OPTION B'
STANDARD DOUBLE GATE ACCESS DETAIL

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HEADER MATERIAL

Headers shall be used to contain and separate rock ground cover from grass and Common Areas. Brick, steel, concrete and 1/4" to 1" pressure treated redwood are permitted. Headers may not exceed 12" in width and shall be flush where they abut other paved areas. Railroad ties, plastic, aluminum, or redwood header smaller than 1/8" x 4" is prohibited.

HOLIDAY DECORATIONS/ STRING LIGHTS

Holiday decorations and holiday string lights shall not be displayed any sooner than one (1) month prior to the holiday. Holiday decorations and holiday string lights shall be removed two (2) weeks after the holiday.

The above rule does not apply to exterior string lights used in the back yard for non-holiday purposes. These string lights are limited to the back yard, must be clear in color, must be turned off between 10 p.m. and sunrise, and cannot be placed on walls or

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fences separating Lots, Parcels, Common Areas, or Neighborhood Common Areas.

IRRIGATION SYSTEMS

All landscaped areas must be equipped with an underground irrigation system. A low-pressure drip irrigation system is encouraged for all shrubs and ground cover areas. Daytime watering of shrubs and turf areas should be avoided.

LANDSCAPE REQUIREMENTS

In order to develop landscaping consistency throughout the neighborhood, a minimum of one 24" box tree, one 15-gallon tree and six 5-gallon plants are required in the front yard of each unit. A plant list is provided in Exhibit "A". Plants listed as "for rear yards only" cannot be used in front yards. Covered open porches, courtyards, low walls, fountains or other features, may be used to supplement and create imaginative landscape designs subject to approval of the Committee.

All front yard landscaping plans are subject to approval by the Committee unless a pre-approved standard landscaping package provided by the Builder is used. Non-conforming landscaping is subject to removal or conformance if not otherwise approved by the Committee.

Each individual Dwelling Unit site will be required to complete front yard landscaping within ninety days from the close of escrow. It is recommended that backyard landscaping be installed at this time too, since construction access to the backyard is often through the front yard.

LIGHTING

All exterior lighting including coach lights, porch lights and patio lights installed by the Builder has been approved. Any additions or changes to exterior lighting are prohibited unless approved in writing by the Committee. Plans for lighting must be detailed. In reviewing an application for exterior lights, the Committee may consider many factors, including (1) bulb type, voltage, and luminosity, (2) height, (3) mounting structures, (4) location, (5) proximity to common areas, streets or neighboring properties, (6) impact on the common areas or neighboring properties, (7) purpose for lighting, (8) light spillage, and (9) general aesthetics of the proposed lighting. Exterior lighting that is soft and indirect with no light sources directly visible to neighboring properties is preferred. Low voltage lighting and Malibu type lights are generally acceptable.

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No colored light bulbs, lenses, or reflective materials are permitted in the front yard. No outdoor flood lights may be directed toward or spill onto a neighbor's property except in the case of model home(s). Low-pressure and high-pressure sodium lighting, metal halide lighting, other bright white intensity lights, and high voltage lights are discouraged. All outside light sources should be screened wherever possible with walls, plant materials or internal shielding. Elevated or pole-supported lighting is generally prohibited. All exterior lighting approved by the Committee shall also conform to any light pollution controls of local government.

Lighting or light structures for sports play of any kind, sports courts, or sport equipment of any type are generally prohibited.

ORNAMENTS

No figurines, shrines or other artwork are permitted in front yards unless screened from view of the street.

All functional and/or decorative items to be placed in the front yard or any portion of the rear yard that is Visible From Neighboring Property must be a Southwestern or traditional style. Chairs or bench seating must be placed at the entry to the home on a concrete or paver surface.

PATIO COVERS

Patio covers must be painted to match the color of the body or trim of the existing Dwelling Unit and all must have a permit issued by Maricopa County. Replacement roofing materials shall match that which was installed by the builder on the original roof of the Dwelling Unit or that which were offered as an option by the Builder for a patio cover. Asphalt shingles (including rolled shingles) are expressly prohibited. The patio roof shall be flat or match the pitch of the Dwelling Unit. All patio covers, not installed by the Builder, will need to be reviewed and approved by the Committee on an individual basis prior to installation.

POLITICAL SIGNS

A political sign is protected by Arizona statute if such sign attempts to influence the outcome of an election, including supporting or opposing the recall of a public officer or supporting or opposing the circulation of a petition for a ballot measure, question or proposition or the recall of a public officer. However, they may not be displayed any earlier than forty-five (45) days before the day of an election and must be removed seven (7) days after election day. No political sign is allowed on any Common Area or Neighborhood Common Area.

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POOLS AND SPAS

Plans for back yard pools and spas need not be submitted for Committee approval so long as no part of the structures is Visible From Neighboring Property.

The location, appearance and height of pool slides require Committee approval if they are Visible From Neighboring Property.

Perimeter walls on lots bordering common landscaped areas may not be torn down. Access must be gained by tearing down a front wall of the lot, leaving the perimeter wall intact, thereby assuring the texture and color consistency throughout the community.

All pool and spa equipment must be screened from view of neighboring property.

Pool Fencing: The specifications for rear yard wrought iron pool fencing installation on a Lot with view fencing shall be a neutral earth tone color to match or blend with the exterior color of the Dwelling Unit and meet all County, State and Federal requirements.

RAMADAS, GAZEBOS AND PERGOLAS

Ramadas, and gazebos, and pergolas may be erected in rear yards only subject to prior review and approval by the Committee, subject to the following guidelines:

- Maximum square footage (under roof area) is 144 square feet.
- Maximum roof height is 10' at the highest point.
- The setback for the structure from the perimeter wall must meet the setback requirements for the zoning district. Refer to the recorded final plat for setback information.
- The structure must be painted to match house color and maintained in good condition.
- Any roof tile must also match the tile of the house.
- Lighting of the structure must be approved by the Committee prior to installation.

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- Wrought iron and wood-type ramadas and gazebos must be neutral in color and meet the same size and height requirements as custom ramadas and gazebos. A photograph or product information for these types of ramadas and gazebos is required for Committee review.
- Drawing showing dimensions, setbacks, and location is required for Committee review.

ROCK GROUND COVER

Rock ground cover may be decomposed granite or other natural rock material approved by the Committee. All bare earth must be covered.

Decomposed Granite

Decomposed granite in the front yard or areas visible from the street must be earth-toned in color. Acceptable colors include:

- Gold
- Beige
- Blonde
- Coral
- Mauve

Artificially colored rocks or other colored rocks (blue, green, white or other non-earth tones) are not permitted. Only 1" minus, 3/4" minus, 1/2" minus, 1" screened, 3/4" screened or 1/2" screened are acceptable. All decomposed granite shall be spread a minimum of 2" deep, and shall be treated with pre-emergent weed control at regular intervals to retard weed growth.

Boulders

Only granite boulders of a color similar to the indigenous rock of the area are allowed. All such boulders must be buried with 1/3 the diameter below grade.

River Run Rock

River run rock shall be 3" to 8" in diameter. Not more than 10% of the front yard landscape area may be river run rock. The river run rock must stop 5 feet from the back edge of any adjacent sidewalk.

ROOF MOUNTED MECHANICAL EQUIPMENT

In general, roof mounted mechanical equipment is prohibited. Screening must be compatible with the building design and the Committee must approve all roof mounted mechanical equipment.

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ROOFING

Roof covering materials shall be concrete tile. No composite shingle roofing or shake will be allowed.

All vent pipes extending through a roof must be painted to match the roof tile. All flashing must also be painted to match the roof tile.

Overhead screens, shade covers, and other similar structures must be integrated into the design of the Dwelling Unit and constructed of materials and color to match or complement the structure. All such roofs must be submitted to the Committee for approval prior to installation.

SECURITY DOORS AND SCREEN DOORS

Security doors, security gates and screen doors must be metal and painted to match the exterior color or trim of the house. Any designs on the doors must be southwestern in nature and not cover more than 20% of the door. Any security doors, security gates and screen doors that do not meet the above criteria must be submitted to the Committee for approval prior to installation.

SIGNS

Security signs with the name of a commercial security provider or its logo must be staked in the ground within two (2) feet of the Dwelling Unit. Such sign shall not be placed more than three (3) feet above the level of the ground. The sign shall not be placed or attached to the structure of the home, the door, gate or wall. "Protected by" or similar language may be added to the sign. Security signs shall not exceed 12" by 12" and shall be maintained in good condition at all times.

Upon approval of the Committee, a "BEWARE OF DOG" sign may be placed on the gate to the rear yard if an Owner has a dog at the residence. No other content (including images of dogs) is permitted on the sign. The sign shall not exceed twelve (12) inches by twelve (12) inches and shall be maintained in good condition at all times.

SOLAR PANELS

Exterior solar panels and solar energy devices require prior written approval by the Committee. The guidelines for solar panels and solar energy devices appear in Exhibit C.

STORAGE SHEDS

Storage sheds may be installed in the rear yard subject to prior written approval of the Committee and the following guidelines:

- Maximum square footage is 144 square feet.

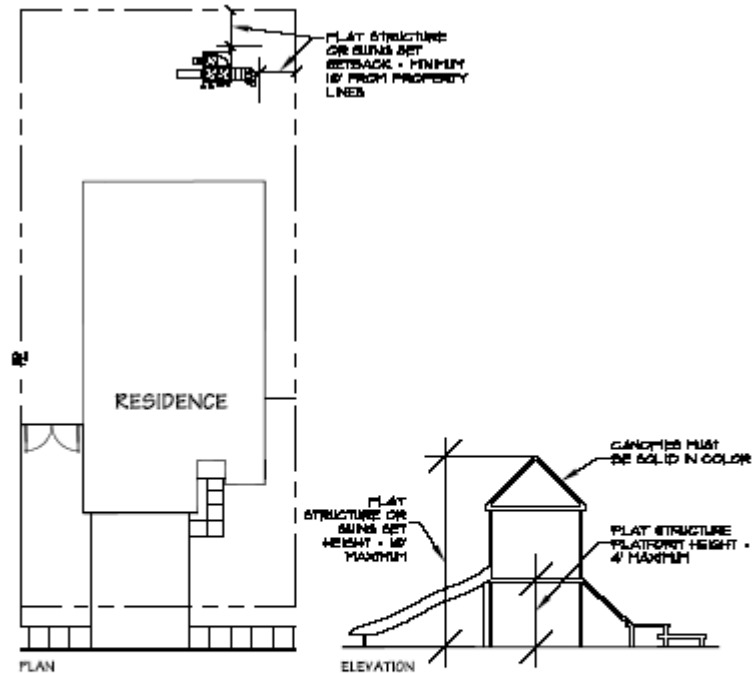
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- Maximum roof height is eight (8) feet at the highest point.
- The setback for the storage shed from the perimeter wall must meet the setback requirements for the zoning district. Refer to the recorded final plat for setback information.
- The structure must be painted to match house color and maintained in good condition.
- Any roof tile must also match the tile of the house.

SWING SETS, PLAY STRUCTURES

The location of swing sets, play structures, trampolines, ball nets, net structures, batting cages, rock walls, monkey bars, and the like are subject to approval of the Committee if they are Visible From Neighboring Property. The Committee will consider a request for locating swing sets, play structures and the like if the properly filled out form (Exhibit “B”) is attached to the request together with a detailed drawing or photograph. A request needs to include a dimensional backyard layout. A typical play structure detail is below.

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- NOTES:**
- MAXIMUM HEIGHT CANNOT EXCEED 16 FEET AT ANY POINT
 - MINIMUM SETBACK FROM PROPERTY LINE MUST BE 16 FEET
 - MAXIMUM HEIGHT OF ANY PLATFORM CANNOT EXCEED 4 FEET
 - CANOPIES MUST BE SOLID IN COLOR

THE LOCATION OF SWING SETS, PLAY STRUCTURES AND THE LIKES ARE SUBJECT TO APPROVAL OF THE COMMITTEE IF THEY ARE VISIBLE FROM NEIGHBORING PROPERTIES. THE COMMITTEE WILL CONSIDER A REQUEST FOR LOCATING SWING SETS, PLAY STRUCTURES AND THE LIKES IF THE PROPERLY FILLED OUT FORM (EXHIBIT 'B') IS ATTACHED TO THE REQUEST TOGETHER WITH A DETAILED DRAWING OR PHOTOGRAPH.

SWING SET / PLAY STRUCTURE EXHIBIT

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TURF (GRASS AREAS)

Front yard turf areas are required to be contained by continuous walkways, driveways, headers, decorative walls, or topographical features such as mounding or boulders.

Submittals for artificial turf require a sample of the proposed installation. The proposed artificial turf must be a good quality and resemble Arizona Winter Rye or Summer Bermuda.

VARIANCES

In the event a variance to the Design Review Guidelines is requested, the following items must be submitted to the Committee.

- A typed letter referencing specifically a “Variance Request,” the address of the Dwelling Unit involved, the name of the subdivision, a request that a variance be granted, the specific provision of the Design Review Guidelines for which a variance is requested, a

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description of the variance requested, and the reasons supporting the variance.

- Plans, photographs or other visual aids that will help to explain the variance requested should be included.
- If a landscape variance is requested, a landscape plan must be prepared and submitted which shows the footprint of the house and indicates plant varieties and locations.

The Committee will respond in writing to a request for variance(s) within forty-five (45) calendar days of receipt or if no response is given the request is deemed denied. The Committee may not grant any variance from a prohibition, restriction, requirement or other provision of the Declaration or Neighborhood Declaration.

WATER FEATURES, FIRE PLACES AND FIRE PITS

Water features, fire places and fire pits are permitted within rear yard areas. Any such items installed in the rear yard must not exceed the fence line height. With prior written approval as to design, safety and other considerations and other criteria as the Committee may establish, the Committee will consider allowing the placement of water features in the front yard, but only if the feature is located near the entry to the house.

WATER/STORM GUTTERS

Water gutters and downspouts require prior written approval of the Committee. The finish colors must match the Dwelling Unit; gutters must match the fascia and downspouts must match the color of the home. Plans must include the proposed locations of the gutters and downspouts and the quality of the materials to be used.

WINDOW COVERINGS

Permanent draperies or suitable window treatments must be installed on all windows within sixty days of occupancy. All windows Visible from Neighboring Property or the street must have customary window treatments. Newspaper, sheets or reflective materials, including but not limited to, aluminum foil, reflective screens or glass, mirrors or similar type material, shall not be installed or placed upon the outside or inside of any windows. Bright colors are not permitted.

Bronze or charcoal sunscreen material may be installed without prior approval. The frame or window/sun screens must match the

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screen material or the existing window frames.

Screens, shades, sun sails and roll shutters that are Visible from Neighboring Property or the street must be neutral desert toned colors and submitted for Committee review.

PARCELS 16, 17, 18

Within Cortessa, the Declarant provided for the unique development of parcel assessment areas. These areas are governed not only by the CC&Rs, but by the Neighborhood Declaration for Cortessa Parcels 16, 17 and 18 recorded as Instrument No. 2004-0695371 in the records of Maricopa County. The parcel assessment areas contain larger one-acre lots with Neighborhood Common Areas and limited access gates specifically funded by members of those Areas. Usually, the foregoing provisions in the Design Review Guidelines will apply to the community-at-large and parcel assessment areas in the same way, such as antennae, colors and tones, Southwestern design, and the like. Sometimes, however, Improvements which may be prohibited on regular-size Lots, may be approvable on Lots within the parcel assessment areas. Of course, all structures or Improvements on Lots within parcel assessment areas are subject to Maricopa County approval, as well as Design Review Committee approval.

In determining whether Improvements are approvable on Lots within Parcels 16, 17, and 18, the Design Review Committee will begin with the preceding provisions of the Design Review Guidelines, and then consider the following factors, along with any other information relevant to the application. Most of these factors are self-explanatory.

- General restrictions. Structures such as secondary or accessory buildings, ramadas, gazebos and RV garages on one-acre lots are subject to following general criteria: (1) all construction materials (stucco, paint, roof tile, etc.) must match the residential structure, (2) a ten (10) foot side wall setback (from the plot plan), (3) a twenty (20) feet rear wall setback (from the plot plan), and (4) a twenty-two (22) feet maximum height at the highest point of the structure.
- Purpose or nature of the proposed Improvement. This factor relates to whether the purpose or nature of the Improvement is unusual or inconsistent with single-family

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residential use.

- Uniqueness of the proposed Improvement. Whether the proposed Improvement is unique or aesthetically peculiar is a consideration.
- Design, construction details, materials and color of the proposed Improvement.
- Location of the proposed Improvement and relation to other structures.
- The number of Improvements on the applicant's Lot.
- The nature of the adjacent properties.
- Compliance with the setback requirements.
- Impairment of mountain views. Mountain views are not guaranteed. Nothing in the governing documents of Cortessa or the Neighborhood Declaration preserves or protects mountain views from future development. Indeed, mountain views have diminished for most if not all homeowners within the parcel assessment areas. Still, the Committee will consider whether a proposed improvement would diminish mountain views, the extent of the diminished views, and the availability of other mountain views.
- Visual impact of the Improvement on other Lots. The visual impact or intrusiveness of the proposed Improvement on the adjacent lots, the neighborhood, or development in general are considerations.
- Minimizing the visual impact of the proposed Improvement. The Committee may consider whether the visual impact of a proposed Improvement may be minimized by the design, building materials, change of location or other means.

The Committee will consider any other factors or information presented, including those set forth in the General Provisions of the Design Review Guidelines.

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EXHIBIT A

APPROVED PLANT LIST

The following is the approved plant list for the selection of plants for Lots and landscape tract landscaping. Homeowners are encouraged to develop a landscaping plan for their properties and then select plants that will look good on the property and in the context of neighboring properties. Property owners should be mindful of the water and irrigation requirements for specific plants and groups of plants, the maintenance requirements, and the size and shape the selected plants will attain in the coming years.

Homeowners can develop a landscaping plan with a desert theme, or a lush landscape theme, or a combination of both. Landscaping suited to the southwest desert environment is highly recommended. Homeowners may use decomposed granite, or grass turf, or a combination of both, in front yard areas.

SOUTHWEST DESERT LANDSCAPE PLANT LIST

	<u>Common Name</u>	<u>Botanical Name</u>
Trees	Abyssinian Acacia	Acacia abyssinica
	Argentine Mesquite	Prosopis alba
	Blue Palo Verde	Cercidium floridum
	Chilean Mesquite	Prosopis chilensis
	Creosote Bush	Larrea divaricate
	Desert Fern	Lysiloma microphyllum
	Desert Ironwood	Olneya tesota
	Desert Sweet Acacia	Acacia smalli
	Desert Willow	Chilopsis linearis
	Foothill Palo Verde	Cercidium microphyllum
	Golden Ball Lead Tree	Lucaena retusa
	Honey Mesquite	Prosopis glandulosa
	Mescal Bean	Sophora secundiflora
	Mexican Ebony	Pithecellobium Mexicana
	Palo Blanco	Lysiloma candida
	Palo Brea (Palo Verde)	Cercidium praecox
	Palo Blanco Acacia	Acacia willardiana
	Blue Palo Verde	Cercidium floridum
	Screwbean Mesquite	Prosopis pubescens
	Shoestring Acacia	Acacia stenophylla
	Sweet Acacia	Acacia farnisiana
	Texas Ebony	Pithecellobium flexicaule
	Velvet Mesquite	Prosopis velutina
	Western Honey Mesquite	Prosopis glanulosa

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	White Bark Acacia Willow Acacia	Lysoma candida Acacia Salicina
Agave	Cowshorn Marginata Mescal Ceniza Murphy's Octopus Parry's Royal Smooth-edged Twin Flower Agave	Agave bovicornuta Agave Americana Agave colorata Agave murpheyi Agave vilmoriniana Agave parryi Agave victorae-reginae Agave weberi Agave gemniflora
Aloe	African Aloe Coral Aloe Medicinal Aloe Tree Aloe Tree Aloe	Aloe Saponaria Aloe striata Aloe barbadensis Aloe ferox Aloe mariothii
Cacti	Beavertail Prickly Pear Blind Prickly Pear Buckhorn Cholla Compass Barrel Cactus Desert Spoon Englemann's Prickly Pear Fishhook Barrel Golden Barrel Cactus Hedgehog Cactus Hildmann's Cereus Mexican Organ Pipe Purple Prickly Pear Robust Prickly Pear Saguaro Santa Rita Prickly Pear Teddy Bear Cholla Trichocereus	Opuntia basilaris Opuntia rufida Opuntia acanthocarpa Fercactus acanthodes Dasyilirion wheeleri Opuntia phaecantha Ferocactus wislizenii Echinocactus grusonii Echinocereus engelmannii Cereus hildmannianus Pachycereus marginatus Opuntia macrocentra Opuntia robusta Carnegia gigantean Opuntia sanat-rita Opuntia bigelovii Trichocereus candicans
Ocotillo	Ocotillo Ocotillo Macho, Chunari	Fouquieria splendens Fouquieria macdougalii
Yucca	Banana Beaked, Beard Blue Joshua Tree	Yucca baccata Yucca rostrate Yucca rigida Yucca brevifolia

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	Soaptree	Yucca elata
	Spanish Dagger/Palm Lily	Yucca gloriosa
	Curveleaf/Pendulous Yucca	Yucca recurvifolia
	Spanish Bayonet/Dagger Plant	Yucca aloifolia
Shrubs and Ground Covers	Senna	Cassia purpussii
	Angelita Daisy	Hymenoxys acaulis
	Arizona Rosewood	Vauquelinia californica
	Arizona Sophor	Sophora arizonica
	Bambo Grass	Muhlenbergia dumosa
	Beard Tongue	Penstemon species
	Bird of Paradise	Caesalpinia platyloba
	Blue Sage	Salvia chamyoriodes
	Bull Grass	Muhlenbergia emersleyi
	Bull Grass	Muhlenbergia emersleyi
	Bush Morning Glory	Convolvulus cneorum
	Candle Bush	Cassia circinnata
	Catclaw Acacia	Acacia greggii
	Centennial Hybrid Broom	Baccharis centennial
	Chaparral Sage	Salvia clevelandii
	Coahuilan	Hesperaloe funifera
	Copper Bird of Paradise	Caesalpinia pumila
	Coral Yucca	Hesperaloe narviflora
	Cresote Bush	Larrea tridentate
	Crucifixion Thorn	Canotia holacantha
	Deer Grass	Deer Grass
	Desert Bird of Paradise	Caesalpinia gilliesii
	Desert Holly	Atriplex hymenelytra
	Desert Lavender	Hyptis emoryi
	Desert Milkweed	Asclepias subulate
	Desert Ruellia	Ruellia penninsularis
	Desert Salt Bush	Atriplex polycarpa
	Desert Spoon	Dasyliron wheeleri
	Fairy Duster	Calliandra California
	Fairy Duster	Calliandra penninsularis
	Feather Dalea	Dalea pulchra
	Feathery Cassia	Cassia artemesiodes
	Fern Acacia	Acacia angustissima
	Firecracker Bush	Justica candicans
	Four Wing Salt Bush	Atriplex canescens
	Golden Wonder Cassia	Cassia goldmannii
	Green Feathery Cassia	Cassia nemophylla
	Hop Bush	Dodonea viscosa
	Hummingbird Flower	Zauschneria latifolia

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Indigo Bush	Dalea bicolor
Indigo Bush	Dalea wislizeni
Jojoba	Simmondsia chinensis
Leather Leaf Acacia	Acacia craspedocarpa
Little Leaf Cordia	Cardia parviflora
Mealy Cup Sage	Salvia farinacea
Mescal Bean, TX Mtn. Laurel	Sophora secundifolio
Mexican Bird of Paradise	Caesalpinia Mexicana
New Zealand Cassia	Casia candoleana
Old Man Salt Bush	Atriplex nummularia
Quail Bush	Atriplex lentiforms
Red Bird of Paradise	Caesalpinia pulcherrima
Red Yucca	Hesperaloe parviflora
Ruellia	Ruellia californica
Sage Species	Leucophyllum sp.
Salt Bush	Atriplex mulleri
Scrub Oak	Quercus turbinella
Shrubby Cassia	Cassia wislezenii
Silver Cassia	Cassia philodinea
Sturts Cassia	Cassia sturtii
Sturts Desert Peas	Clianthus formosus
Texas Cassia	Cassia biflora
Trailing Acacia	Acacia redolens
Velvet Pod Mimosa	Mimosa dysocarpa
Blackfoot Daisy	Melampodium leucanthum
Bursage	Ambrosia deltoidea
California Fuchsia	Zauschneria californica
Desert Mallow	Sphaeralcea amibila
Desert Marigold	Boileya multiradiata
Gold Mount, Purple, Confetti	Lantana species
Mexican Blue Sage	Salvia chamaebryoides
Mexican Primrose	Oenothera berlandieri
Myoporum	Myoporum pavifolium
Rock Verbena	Verbena pulchella "gracilior"
Scarlet Sage	Salvia greggii
Trailing Indigo Bush	Dalea greggi
Prairie Zinnia	Zinnia grandiflora
Desert Marigold	Baileya multiradiata
Golden Fleece Dahlberg Daisy	Dyssodia pentachaeta
Gold Crucifier	Rallistroemia grandiflora
Goldfield	Baeria chrysostoma
Mexican Gold Poppy	Eschscholzia Mexicana
Prickly Poppy	Argemone plicantha

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Pink Verbena
Yellow Bell

Verbena Peruviana
Tacoma Stans

LUSH LANDSCAPE PLANT LIST

	<u>Common Name</u>	<u>Botanical Name</u>
Palm Trees	Date Palm (rear yard only) Mediterranean Fan Palm Mexican Blue Palm Mexican Fan Palm Queen Palm Sago Palm Windmill Palm	Phoenix dactylifera Chamaerops humilis Brahea armata Washingtonia robusta Arecastrum romanzoffianum Cycas revolute Chamaerops fortune
Other trees	Evergreen Elm Benjamina Ficus Cork Oak Indian Laurel Fig Mondel Pine (rear yard only) Ash Trees Blue Leaf Wattle Brazilian Pepper Tree California Pepper Tree Chaste Tree Chinese Pistache Citrus (rear yard only) Evergreen Pear Fruit Trees (rear yard only) Jacaranda Holly Oak Olive Orchid Tree Pine Purple Leaf Plum Privet Tree Southern Live Oak	Ulmus parvifolia Ficus benjamina Quercus suber Ficus microcarpa nitida Pinus brutia eldarica Fraxinus species Acacia saligna Schinus terebinthifolius Schinus mole Vitex agnus-sactus Pistachia chinensis Citrus Pyrus kawakamii Citrus species Jacaranda mimosifolia Quercus ilex Olea europaea "swan hill" Bauhinia species Pinus species Prunus cerasifera 'atropurpurea' Ligustrum species Quercus virginiana
Shrubs and Ground Covers	Arcadia Juniper Australian Salt-Bush Blue Hibiscus Bougainvillea	Juniperus "arcadia" Xylosma species Hibiscus species Bourganvillea brasiliensis

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	Cape Honeysuckle	<i>Tecomaria capensis</i>
	Cape Plumbago	<i>Plumbago auriculata</i>
	Common Bermuda	<i>Cynodon dactylon</i>
	Creeping Juniper	<i>Juniperus horizontalis</i>
	Daylily	<i>Hemerocallis</i>
	Dwarf Oleander	<i>Nerium oleander</i>
	Euryops Daisy	<i>Euryops species</i>
	Fraser's Photinia	<i>Photina fraseri</i>
	Hearts and Flowers	<i>Apetenia cordifolia</i>
	Heavenly Bamboo	<i>Nandina domestica</i>
	Hibiscus	<i>Hibiscus species</i>
	Hummingbird Trumpet	<i>Zauschneria latifolia</i>
	Indian Hawthorn	<i>Rhaphiolepis indica</i>
	Katie Ruella	<i>Ruella species</i>
	Lavender Cotton	<i>Santolina chamaecyparissus</i>
	Mexican Heather	<i>Calluna vulgaris species</i>
	Mexican Honeysuckle	<i>Justicia spicigera</i>
	Mint Julep Juniper	<i>Juniperus chinensis</i>
	Mock Orange	<i>Pittosporum tobira</i>
	Myrtle	<i>Myrtus communis</i>
	Natal Plum	<i>Carrisa grandiflora</i>
	Oleanders (other than dwarfs)	<i>Nerium Oleander</i>
	Pendulus Yucca	<i>Yucca recurvifolia</i>
	Periwinkle	<i>Vinca Minor</i>
	Pyracantha	<i>Pyracantha species</i>
	Regal Mist	<i>Muhlenbergia species</i>
	Rocky Point Ice Plant	<i>Malephora Lutea</i>
	Rosemary	<i>Rosmarinus officinalis</i>
	Sprenger Asparagus	<i>Asparagus Sprengeri</i>
	Spanish Bayonet	<i>Yucca aloifolia</i>
	Spanish Dagger	<i>Yucca gloriosa</i>
	Star Jasmine	<i>Trachelopermum jasminoides</i>
	Prostrate myoporium	<i>Myoporaceae parvifolium</i>
	Xylosma	<i>Xylosma species</i>
	Yaupon Holly	<i>Ilex vomitoria</i>
	Yew Pine	<i>Podocarpus species</i>
Vines	Carolina Jasmine	<i>Gelsemium sempervirens</i>
	Creeping Fig	<i>Ficus pumila</i>
	Lady Banks Rose	<i>Rosa banksiae</i>

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PROHIBITED FOR FRONT & REAR YARDS

<u>Common Name</u>	<u>Botanical Name</u>
Cypress*	Cupressus
False cypress	Chamaecyparissus
Olive (fruiting)	Olea europaea
Mexican Palo Verde	Parkinsonia aculeate
Thevetia - Yellow Oleander	Thevetia peruviana
Fountain Grass	Pennisetum setaceum

* The Design Review Committee may, in its discretion, allow the installation of this plant with the following restrictions: (a) is not installed closer than three feet to a Dwelling Unit; (b) must be trimmed so as to not exceed the height of Dwelling Unit; (c) may not be used in hedge applications; and (d) shall not encroach into neighboring Lots or Parcels.

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

EXHIBIT B

CORTESSA COMMUNITY ASSOCIATION

Architectural Design Request for Approval Form

The Declaration of Covenants, Conditions, Restrictions, Reservations, and Easements for Cortessa (the "CC&Rs") requires that an owner obtain the prior written approval of the Design Review Committee or its nominee(s) (the "Committee") for any exterior alteration or addition to property within Cortessa.

To comply with the CC&Rs, please complete the form below. Attach a detailed drawing or blueprint of the proposed alteration and/or addition. The drawing should specify dimensions, materials to be used and colors. This application and the drawing will be retained for the Committee records.

HOMEOWNER INFORMATION

NAME: _____

LOT #: _____ **SUBDIVISION:** _____

ADDRESS: _____

CITY: _____ **STATE:** _____ **ZIP** _____

PHONE/BUSINESS: _____ **PHONE/HOME:** _____

Prior to committee review, the homeowner must sign to verify that:

1. His/Her Association fees are paid and current;
2. No fees and/or fines are owed to the Association and;
3. I understand and agree that **NO** work on this request shall commence until written approval of the Committee has been received by me.

HOMEOWNER SIGNATURE: _____

DATE: _____

CORTESSA COMMUNITY ASSOCIATION DESIGN REVIEW GUIDELINES

REQUEST

Description of Request - Provide full details of purpose and/or reason, type, color, size/dimensions of improvement and materials, and location utilizing this form. Use additional 8½" x 11" paper if necessary. **NOTE: AN ACCURATE DRAWING MUST BE ATTACHED. AN ACCURATE SITE PLAN MUST ALSO BE INCLUDED. FOR SWING SETS/PLAY STRUCTURES AND THE LIKE PLEASE INCLUDE SPECIFIC DIMENSIONS MAKE/MODEL AND PICTURES OF STRUCTURE IF AVAILABLE.**

DESCRIPTION OF ALTERATIONS:

CONTRACTOR:

Address:

City/State/Zip:

Phone:

MATERIAL(S)*:

COLOR(S)*:

*(include sample paint chips or materials if appropriate)

DIMENSIONS:

RETURN TO:

Cortessa Community Association
c/o Kinney Management Services
Post Office Box 25466
Tempe, Arizona 85285

For Additional Information Call: (480) 820-3451

The Committee's review and approval is limited to and only pertains to the ITEMS DESCRIBED ABOVE. The fact that the information not specifically requested is shown on the plan does not mean that it is approved as part of the submittal.

**CORTESSA COMMUNITY ASSOCIATION
DESIGN REVIEW GUIDELINES**

COMMITTEE ACTION

The Committee has taken the following action on this application:

_____ **REJECTED.** Application either fails to meet one or more of the requirements set forth in the Design Review Guidelines or CC&Rs or is believed to be in some manner inconsistent with the character of the community.

_____ **REVIEWED THE APPLICATION.** The following revision(s) and additional submission(s) are required to meet the Design Review Guidelines or CC&Rs:

_____ **REVIEWED AND CONDITIONALLY APPROVED** the Architectural Design Form with the following changes required:

_____ **REVIEWED AND APPROVED.** The Architectural Design Form submitted as meeting the requirements of the Design Review Guidelines. This approval is subject to all applicable County and State permits, codes and regulations. Compliance with said issues is the responsibility of the homeowner.

FOR THE COMMITTEE: _____

DATE: _____

EXHIBIT C (SOLAR ENERGY DEVICES)

I. OVERVIEW

The following criteria are for the sole use by the Design Review Committee in assisting the Committee in ruling upon an architectural application for the installation of a Solar Energy Device as defined by A.R.S. § 44-1761(4). These criteria are intended to comply with A.R.S. 33-1816. Devices not qualifying as a Solar Energy Device under A.R.S. §§ 33-1816 and 44-1761(4) are not the subject of these criteria and may be prohibited by the Committee in its discretion. The Committee has sole discretion in interpreting the language and intent of these criteria, including resolving ambiguities or inferring meanings, and applying these criteria to any application for the installation of a Solar Energy Device.

II. DEFINITIONS

Where used herein, the capitalized terms will be defined as follows:

- J “Collector” means a component of a solar energy device that is used to absorb solar radiation, convert it to heat or electricity and transfer the heat to a heat transfer fluid or to storage. A.R.S. § 44-1761(1).
- J “Heat Exchanger” means a component of a solar energy device that is used to transfer heat from one fluid to another. A.R.S. § 44-1761(2).
- J “Solar Day Lighting” means a device specifically designed to capture and redirect the visible portion of the solar beam spectrum, while controlling the infrared portion, for use in illuminating interior building spaces in lieu of artificial lighting. A.R.S. § 44-1761(3).
- J “Solar Energy Device” means a system of series of mechanisms designed primarily to provide heating, to provide cooling, to produce electrical power, to produce mechanical power, to provide solar daylighting or to provide any combination of the foregoing by means of collecting and transferring solar generated energy into such uses either by active or passive means. Such systems may also have the capability of storing such energy for future utilization. Passive systems shall clearly be designed as a solar energy device such as a Trombe wall and not merely a part of a normal structure such as a window. A.R.S. § 44-1761(4).
- J “Solar Energy Device” does not include heat pumps, evaporative coolers, conventional windows and window treatments (dual pane, low-e, shade screens, reflective or dark coatings, awnings, interior shades, drapes and blinds), conventional skylights, reflective roof coatings, insulation, “outsulation”, radiant barriers, misting systems, and vegetation (shade trees, shrubs and grass).

- “Storage Unit” means a component of a solar energy device that is used to store solar generated electricity or heat for later use. A.R.S. § 44-1761(5).

III. APPLICATION REQUIREMENTS

- The application for a Solar Energy Device must be submitted with professional quality scaled drawings showing construction details, and clearly showing elevations, location of the Solar Energy Device, location and routing of all associated plumbing or electrical runs to and from the Solar Energy Device, and all associated components (pumps, filters, meters, tanks, utility disconnects, electrical control/safety devices). Product literature for the proposed Solar Energy Device and associated components must be submitted with the drawing package. The color of the Solar Energy Device and associated components (including electrical and plumbing runs) must be included.
- The application must be accompanied by documentation showing compliance with A.R.S. § 44-1762 including a written statement of performance data for the Solar Energy Device pursuant to A.R.S. § 44-1762(B) and proof of licensing of the installer of the Solar Energy Device pursuant to A.R.S. § 44-1762(E).
- The Committee may request additional information or documents, which must be supplied before the application is deemed complete.

IV. APPROVAL STANDARDS

- The entire Solar Energy Device installation, including all associated components, must be acceptable to the Committee and be approved in writing by the Committee prior to commencement of installation.
- Solar Energy Devices, their installation and use, shall comply with A.R.S. § 44-1762. That statute applies to all Solar Energy Devices sold or installed in the State of Arizona and requires among other things, (1) prescribed warranty periods given by the seller or installer, (2) a written statement of performance data of the Solar Energy Device provided by the seller or installer, (3) a certificate of compliance with the statute provided by the seller or installer, (4) compliance of the Solar Energy Device with any consumer protection, rating, certification, performance, marketing, installation, and safety standards adopted by the State of Arizona, (5) proper licensing of installers of Solar Energy Devices, and (6) installation requirements of Solar Energy Devices, including satisfying all applicable fire, safety, and building code, and consumer protection standards.
- Collectors or “solar panels” shall be mounted to minimize visual impact and shall comply with the following enumerated criteria.

1. Collectors shall be mounted or located so as not to be seen from the ground level of common areas, neighboring properties, or the streets unless such location prevents the installation, impairs the functioning, or restricts the use of the Solar Energy Device or adversely affects the cost or efficiency of the device. For example, Collectors which can be hidden behind a parapet wall or a flat roof are preferable to Collectors located on a pitched roof.



(PV panels (collectors) hidden behind a parapet wall on a flat roof)

2. If installation on a pitched roof is necessary, mounting of Collectors on the street-side of the home should be avoided if possible. If the street-side pitched roof has a southern exposure, mounting on other roof faces must be considered. For example, reverse pitched mounting on the roof face toward the back of the house is preferred over street-side mounting.



(Reverse Pitched System prior to screening.)

3. If street-side mounting is necessary on a house with a southern exposure, side roof areas must be considered (with collectors grouped away from the street side as much as possible to reduce the visibility of the collectors from the street-side).

4. Collectors must be mounted flush to the roof unless pitched collectors will reduce the visibility of the collectors from the street-side of the home (such as in the case of a reverse pitched system). Where pitched Collectors are used, the degree of pitch should be minimized to avoid visibility as much as possible.
 5. The Committee may consider screening as a method to further reduce the visual impact of Collectors or other components of a Solar Energy Device.
- Components of Solar Energy Devices other than Collectors should be installed inside the structure of the home or completely out of view unless such placements prevents the installation, impairs the functioning, or restricts the functioning of the Solar Energy Device or adversely affects the cost or efficiency of the device. For a photovoltaic electric system, for example, unless there is an impairment to the system, no major components should be installed on the exterior of the home except for Collectors, roof mounted combiner box, photovoltaic dedicated meter, and photovoltaic system utility disconnect switch.
 - All components of a Solar Energy Device which are required to be mounted or grouped with existing utility boxes, such as photovoltaic dedicated meters or photovoltaic system utility disconnects, shall match the color of the existing utility boxes unless otherwise specified by the Committee.
 - All exterior components of the Solar Energy Device must match the color of the roof or wall to which they are attached unless the solar technology requires a transparent top surface (superstrate) or other non-paintable surface. For example, all photovoltaic modules or solar thermal collectors with a glass top surface may be black or dark blue, since they require a transparent top surface to properly collect the sun's energy. All other components of the systems (e.g., mounting assemblies, rails, solar panel edges, tilt legs, electrical and plumbing runs, combiner boxes) must match the color of the roof or wall to which they are attached or adjacent to.
 - Wires, conduit, pipe, tanks and other associated components shall be hidden from view unless such placement prevents the installation, impairs the functioning or restricts the use of the Solar Energy Device or adversely affects the cost or efficiency of the device. If it is not practicable to hide such items from view, they shall follow the architectural lines of the residential structure, be placed to minimize the visual impact of the component, and/or match the color of the adjacent surface of the home as determined by the Committee.
 - Collectors must be of a contiguous color with no metallic details or connections on or in the panels available to be seen from the street view. White spaces on panels and electrical connection ribbon must not show below.

- Collectors must be placed on the roof in a manner where the equipment has a balanced look and symmetry.
- All hardware and electrical connections shall be turned in as to be invisible even up close.



(Noncompliant street side roofs with exposed and metallic mounting hardware and lack of symmetry in application of equipment.)



(Street Side applications with metallic look and exposed mounting hardware).